



naomi j ryan
estate agents



Detached



Bedrooms: 2



Bathrooms: 1



Receptions: 1



District Heating



Garage



No Garden



Council Tax Band: B

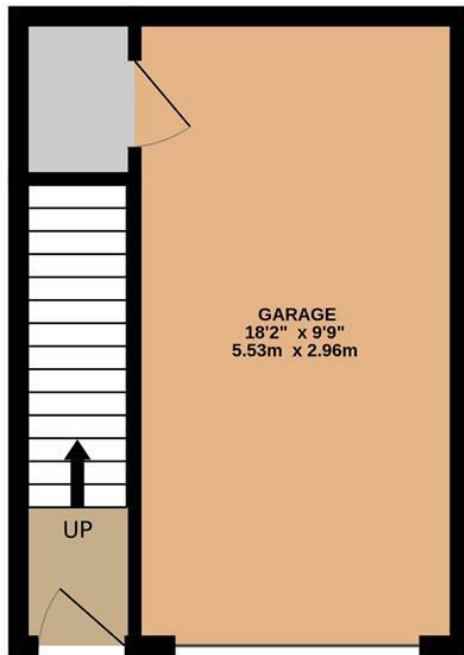
£199,950 Freehold

9 Alford Pasture,
Cranbrook, Exeter, EX5 7EB

www.naomijryan.co.uk

FIRST FLOOR

GROUND FLOOR



Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
Made with Metropix ©2026



SUMMARY

A bright and spacious two double bedroom detached coach house located in the popular and sought-after residential area of Cranbrook. The property is being sold with no onward chain.

Cranbrook is situated approximately five miles east of Exeter, providing easy access to transport links into the city as well as the surrounding major road network. Within Cranbrook, there is a variety of amenities, including well-regarded primary and secondary schools, a public house, and a selection of shops. Cranbrook Train Station offers excellent links to Exeter City Centre and London Waterloo.

The well-presented accommodation features an entrance hall with stairs leading to the first-floor living space, which includes an open-plan living/dining room with a modern fitted kitchen. There are two double bedrooms and a bathroom.

A single garage is equipped with an up-and-over door and power, light, and water supply.

Early internal viewing is highly recommended.

MATERIAL INFORMATION

Construction notes: Brick built

Utilities: Mains electricity, water, and drainage.

Broadband and Mobile Coverage: For an indication of specific speeds and supply or coverage in the area, we recommend checking with Ofcom by visiting their web site. <https://checker.ofcom.org.uk>

VIEWING ARRANGEMENTS

Strictly by appointment with Naomi J Ryan Estate Agents.

REFERRAL FEE DISCLOSURE

We recommend sellers and/or potential buyers use the services of The Mortgage Quarter. Should you decide to use the services of The Mortgage Quarter you should know that we would expect to receive a referral fee of £200 from them for recommending you to them. You are not under any obligation to use the services and can seek alternative providers of these services. Further information is available on our web site.





BRITISH PROPERTY AWARDS 2021 GOLD WINNER ESTATE AGENT IN EXETER

BRITISH PROPERTY AWARDS 2022 GOLD WINNER ESTATE AGENT IN EXETER

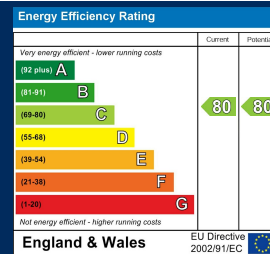
BRITISH PROPERTY AWARDS 2023 GOLD WINNER ESTATE AGENT IN EXETER

BRITISH PROPERTY AWARDS 2024 GOLD WINNER ESTATE AGENT IN EXETER

BRITISH PROPERTY AWARDS 2025 GOLD WINNER ESTATE AGENT IN EXETER

 **naomi j ryan**
estate agents

IMPORTANT: we would like to inform prospective purchasers that these sales particulars have been prepared as a general guide only. A detailed survey has not been carried out, nor the services, appliances and fittings tested. Room sizes should not be relied upon for furnishing purposes and are approximate. If floor plans are included they are for guidance only and illustration purposes only and may not be to scale. If there are any important matters likely to affect your decision to buy, please contact us before viewing the property.



18 southernhay west, exeter, ex1 1pj
t&f . 01392 215283
e . enquiries@naomijryan.co.uk
www.naomijryan.co.uk
company registration number 6693899